

Appendix B

Northern Neighborhood Overlay Zone

Northern Neighborhood Overlay Zone: Definitions

A. INTENT: It is the intent of the Northern Neighborhood Overlay Zone (NNOZ) section to implement the Fairview Community Plan and associated Land Use and Transportation, Design and Environment in addition to the Public Facilities and Services Policies of the Anchorage Bowl 2020 Comprehensive Development Plan, that encourages northern design, mixed residential/commercial development and the creation of a more Livable Winter City.

B. PURPOSE: The NNOZ is designed to ensure the development of land along the lines of traditional northern neighborhoods. Its provisions adapt the urban conventions which were normal in the United States from colonial times until the 1940s and adjusts them for a suburban community.

1. Traditional Northern Neighborhoods share the following conventions:
 - a. The Neighborhood is physically understood and limited in size.
 - b. Residences, shop, workplaces, and Civic Buildings are located in the Neighborhood, all in close proximity.
 - c. A hierarchy of Streets serve the needs of the pedestrian and the automobile equally.
 - d. Physically defined Squares and Parks provide places for informal social activity and recreation.
 - e. Private buildings form a clear edge, delineating the Public Street space and the Block interior.

f. Civic Buildings and Squares reinforce the identity of the Neighborhood, becoming symbols of community identity and providing places of purposeful assembly for social, cultural and religious activities.

2. Traditional Northern Neighborhoods pursue certain social objectives:

a. By bringing within walking distance most of the activities of daily living, including dwelling, shopping and working, the elderly and the young gain independence of movement.

b. By reducing the number and length of automobile trips, traffic congestion is minimized and road construction is limited. By organizing, appropriate building densities, public transit becomes a viable alternative to the automobile.

c. By providing defined Public Pedestrian Spaces such as Streets and Squares, citizens come to know each other and to watch over their collective security.

d. By providing a full range of housing types and workplaces, age and economic class are integrated and the bonds of an authentic community are formed.

e. By providing suitable Civic Buildings democratic initiatives are encouraged and the balanced evolution of society is secured.

C. PROCEDURE: Applicants for the Mixed Residential/Commercial Development option shall be required to follow the procedure for approval set forth in Section of Title 21 Land Use Code. Where the requirements of this section conflict with those of Section, this section shall prevail.

D. LOCATIONS & LIMITATIONS:

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1. The NNOZ shall apply to lands designated on the Land Use Plan Map of the Fairview Community Plan as Commercial, Neighborhood Mixed-Use and Center City Residential.
2. The Fairview Community Council shall guide and govern the citizens of the NNOZ
3. The NNOZ provisions shall be in addition to the provisions of the zoning districts in which the property is located. Where inconsistencies or conflicts exist between provisions of the NNOZ and provisions of the underlying zoning, the provisions of the NNOZ shall apply.

E. SPECIAL DEFINITIONS: Important: Read these definitions before the text of the Overlay Zone. Terms within the NNOZ often differ in their specific meaning from, and take precedence over, identical terms as defined in the zoning code of the Municipality of Anchorage.

Apartment: A dwelling not coinciding with an individual Lot such that the Lot is shared with other Apartments and/or another use category.

Alley: A vehicular passageway designed to provide secondary and/or service access to rear of Lots. Design speed shall not exceed 15 mph.

Artisan Use: Premises used for the manufacture and sale of artifacts employing only handwork and/or table mounted electrical tools and creating none of the adverse impacts listed under Light Industrial Use.

Attic: The storage area within the pitch of a roof. Attics shall not count against the Story height limitations.

Automotive Use: The selling, servicing and/or repairing of motorized wheeled vehicles.

Block: The aggregate of Lots and Alleys, circumscribed by Public use tracts generally Streets.

Building Cover: The horizontal land area occupied by a Building at finished grade, excluding open porches and loggias and projections and overhangs of less than 2 feet.

Civic Building: Premises used for any permitted or required Civic Use when located in a Civic Use Lot.

Coffee House: A restaurant with no more than 40 seats, or more than 6 full time equivalent employees (FTE), and which is open for business not more than 14 hours per day.

Color Analysis: Systematic evaluation of exterior premises to identify design factors that create a warmer aesthetic as seen from the Frontage Line.

Curve Radius: The curved edge of the Street at an intersection measured at the inner edge of the parking lane.

Edge Area: A continuous open area surrounding the Neighborhood along a minimum of 75% of its perimeter; and no less than 100 feet wide at any place. The area shall be preserved in perpetuity in its natural condition, or used for wetlands or greenways.

Enclosed Residential Courtyards: Three to five Story multi-plex unit with stepped design to the north side of a Lot. Opened to the Southwest to maximize solar access and warm micro-climates during shoulder seasons.

Facade: The wall of a building parallel to and corresponding to a Frontage Line.

Northern Design Principles	
1.	Support a Compact Community Structure
2.	Face the South and Protect Solar Access
3.	Develop enclosed Courtyards and Micro-Climates
4.	Encourage Energy Efficiency
5.	Create Mixed-use Streets and Buildings
6.	Establish regional color aesthetic - based on local ecology and emphasizing warmth
7.	Design for kids, elderly and physically disabled
8.	Show the Winter View
9.	Create climatic protection (total or partial) for pedestrians
10.	Celebrate the Winter Space
11.	Give equal attention to winter landscaping

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Rolled curbs and pull-in parking in front of four-plexes with dumpsters reduces the utility of sidewalks.

Fire Kiosk: A free standing unit, powered by gas, wood or electricity that generates heat using flames.

Ice Sculpture: Landscaping element used to enhance Winter Space. Typically illuminated and may involve active drip systems or passive fixed carvings.

Light Industry Use: Premises for the repair, assembly or fabrication of artifacts. Light Industry uses shall not produce noxious or hazardous solids, liquids, or gases for emission to the environment or any of the following adverse impacts, as determined at the boundary of the nearest non-Workshop Use Lot: Noise at a level greater than typical street or traffic noise; offensive vibration; or any other adverse impact as may be determined by the Planning and Zoning Commission, based on evidence presented.

Lodging Limited: Premises providing of no more than 8 rooms for short-term letting and food service before room only. Lodging User Building providing food service and rooms for short-term letting.

Lot: A separately platted portion of land containing a use held privately.

Meeting Hall: A Building, equipped by design for Public assembly, containing at least one room having an area equivalent to 10 square feet per dwelling, or 1300 square feet, whichever is greater.

Natural Area: Waterways, wetlands, and nature preserves, to be preserved in perpetuity.

Neighborhood Based Snow Removal: A technique for local removal/storage of snow. Typically involves resident participation either as an individual or in a group.

Neighborhood Proper: The built-up

area of a Traditional Northern Neighborhood, including Blocks, Streets, Squares and Parks but excluding Edge Areas.

Office, Corporate Use: Premises used for the transaction of business or the provision of professional services with a maximum Building Footprint of square feet and a maximum ..Stories in height.

Office, Home: Premises used for the transaction of business or the provision of professional services, employing no more than 4 full time Equivalent Employee's (FTE) - one of whom must be the home owner or renter.

Offices, Limited: Premises used for the transaction of business or the supply of professional services, employing no more than 8 (FTE) persons.

Outbuilding: A separate building, additional to the principal building, contiguous with the rear Lot line, of a maximum of 2 stories, and having a maximum Building Footprint of 450 square feet. Outbuilding does not count against maximum Building Cover restrictions or unit counts.

Park: An outdoor Public tract naturalistically landscaped, not more that 10% paved, and surrounded by the Frontage Line of Lots on at least 50% of its perimeter. Parks may contain wetlands.

Private: That which is neither Public nor Civic.

Prohibited Uses: Uses which are not permitted anywhere within the NNOZ: a) any commercial use which encourages patrons to remain in their automobiles while receiving goods or services, except service stations; b) chemical manufacturing, storage or distribution as a primary use; c) enameling, painting or plating, except artist's studios; d) outdoor advertising or

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billboard as a principal use; e) carting, moving or hauling terminal or yard, except delivery goods to businesses within the Overlay Zone; f) prisons, detention centers or halfway houses; g) manufacture, storage or disposal of hazardous waste materials; g) scrap yards; h) mobile homes; i) sand, gravel, or other mineral extraction; j) kennels; k)) any use which produces any of the adverse impacts defined as prohibited under the definition of Light Industry Use.

Raised Basement: A semi-underground story serving to raise the principal floor level no more than 5 feet above the sidewalk. A raised basement shall not count against the Story height limitations.

Shared Parking: Where day/night or weekday/holiday schedules allow for the use of parking spaces by more than one user.

Snow Sculpture: Landscaping element used to enhance Winter Space.

Snow-Melting Device: A sub-surface method for removing snow.

Summer Space: An area of a Lot with direct exposure to solar heating whose micro-climate is enhanced with wind breaks and reflecting vertical walls.

Square: An outdoor Public Tract, spatially defined by its surrounding buildings (as a room is defined by its walls), and adjacent to Streets on at least two sides.

Streetedge: A masonry wall, wood fence, or hedge, no less than 50% opaque, built along the Frontage Line between 3 and 5 feet in height. Any wall, fence, or hedge built between the Frontage Line and a point even with the nearest enclosed edge of the house may be of no greater height than the Streetedge. The % opacity shall

be calculated including all openings.

Street Vista: The view, framed by building, at the termination of the axis of a Street.

Story: A habitable level within a building no more than 14 feet in height from finished floor to finished ceiling.

Street Lamps: A light standard between 8 and 14 feet in height equipped with an incandescent or metal halide light source.

Through Street: Through Streets may provide primary access to and/or border, but not pass through a Neighborhood Proper. Where Through Streets border or pass between Neighborhood Propers, there shall be, between the Frontage Line and traffic lanes: a sidewalk of not less than 6 feet, at least one lane of parking; and at least one 10 foot travel lane, and a planted median of at least 12 wide with Street Trees planted no further than 30 feet apart.

Tract: A separately platted portion of land containing a use held in common.

Tree, Street: A deciduous tree of wide canopy, resistant to root pressure, of proven viability in the region, no less than 4" caliper and 8 feet clear trunk at the time of planting.

Weather Protection Device: Design element (canopy, awning, arcade, colonnade) that provides protection from snow, ice, wind while ensuring access to the sun.

Winter Landscaping: A set of techniques to push back northern cold and darkness through the strategic use of snow, ice, light and warm season colors.

Winter Space: An area of a Lot with minimum solar heating whose micro-climate is dominated by shadows. Typically the



The pedestrian experience along 15th Avenue east of Cordova can be challenging

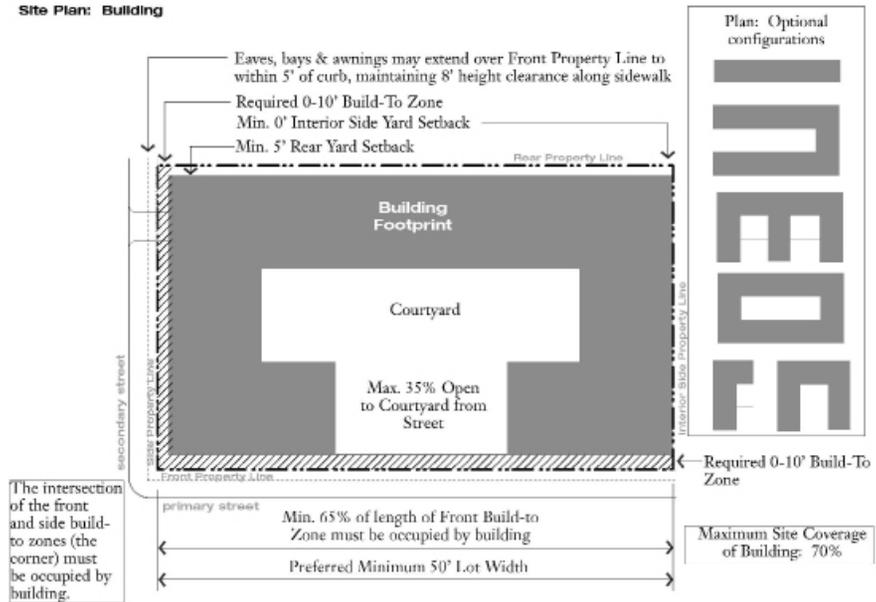
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Northern Neighborhood Overlay Zone:

Form-Based Code Component

Building Type Standards:
Courtyard Building



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1.0 BUILDING SITING

1.1 Street Frontage

1.1.1 On primary streets, a minimum of 65% of the length of the front build-to zone must be occupied by building; maximum of 35% of the front build-to zone may be occupied by courtyard.

e occupied by building.

1.1.3 Front and side building facades must be constructed within a build-to zone, located from the property line 10' into the site.

1.1.4 Eaves and upper floor bays, balconies & awnings are permitted to extend over the front property line to within 5' of the curb, maintaining a minimum of 8' height clearance along public sidewalk.

1.2 Buildable Area

1.2.1 Buildings may cover a maximum of 70% of the site.

1.2.2 Areas located between the building and the front or side property lines must be landscaped or paved for pedestrians; parking may not occupy the courtyard.

1.2 The intersection of the front and side build-to zones (the corner) must b

1.2.3 Minimum lot width is 50'.

1.3 Interior Side Yard Setback

1.3 .1 No interior side yard setback is required.

1.4 Rear Yard Setback

1.4.1 The rear of the building must be set back a minimum of 5' from the property line.

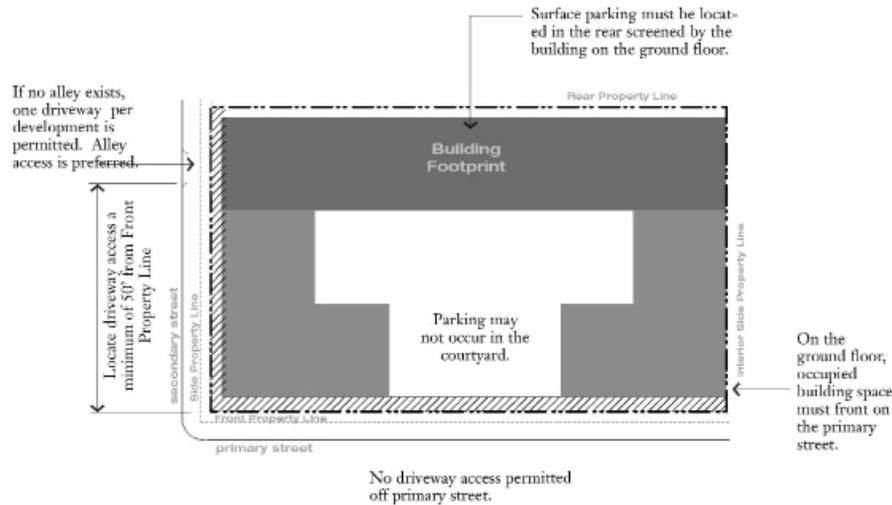
2.0 OFF-STREET PARKING

2.1 Location

2.1.1 Surface parking lots are permitted in the rear of the lot, fully screened from the front property line by building. 2.1.2 Structured parking is recommended, but must be either located fully in the basement or behind occupied uses in the rear of the building.



Site Plan: Parking



2.2 Driveways & Access

2.2.1 If no alley exists, one driveway per development is permitted, located off the secondary street; alley access is preferred. Driveway access is not permitted off the primary street.

2.2.2 Driveway access from the secondary street must be located 50' from the front property line on the primary frontage.

2.3 Screening & Landscaping

2.3.1 Parking facilities adjacent to the right-of-way shall be screened with a combination of landscaping and ornamental metal fencing. This will only occur on the secondary streets.

2.3.2 Surface parking lots must be landscaped with a minimum of 1 shade tree per 10 parking spaces; minimum 1 tree.

2.3.3 Screen structured parking visible from the courtyard or secondary street with facade treatments.

3.0 HEIGHT REQUIREMENTS
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3.1 Building Height

3.1.1 Building height is measured in stories; the half story allows for a visible basement.

3.1.2 In Context Zone 5, buildings shall be a minimum of three stories and a maximum of six and a half stories in height.

3.1.3 In Context Zone 4, buildings shall be a minimum of two stories and a maximum of four and a half stories in height.

3.2 Floor Heights

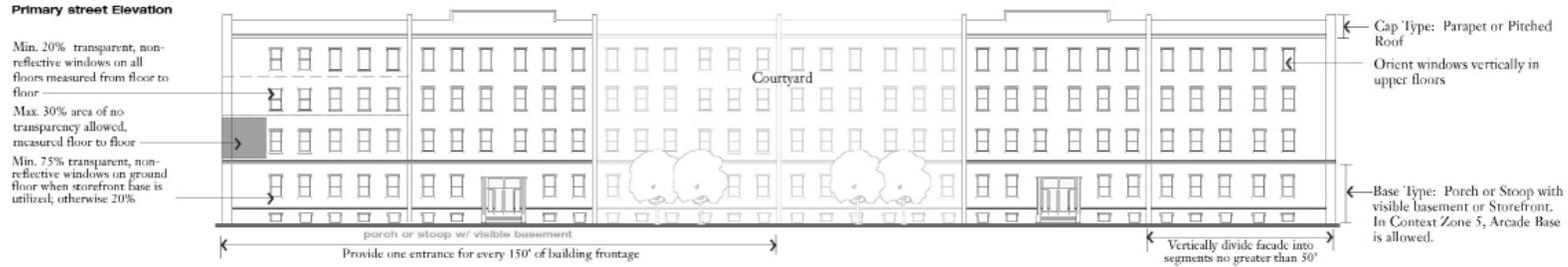
3.2.1 Allowable ground floor height is a minimum of 9', maximum 30', as measured from floor to floor.

3.2.2 Ground floor must be located a minimum of 18" above the sidewalk for stoop or porch base, 0" for storefront or arcade base.

3.2.3 Allowable upper floor height is a minimum of 8', maximum of 14', as measured from floor to floor.

3.2.4 Visible basement height is a maximum of 5' above





the public sidewalk elevation.

3.3 Parking Garage Height

3.3.1 Parking garages shall be no taller than the occupied building height nor the eave height of the adjacent buildings to the sides and rear.

3.4 Cap Type Height

3.4.1 Parapets must be a minimum of 4' in height.

3.4.2 Pitched Roofs may not be less than 9:12 (rise:run); an approximately 12:12 pitch is preferred.

4.0 USES

4.1 Ground Floor Uses

- 4.1.1 With a stoop or porch base, commercial, office and residential uses are permitted on the ground floor.
- 4.1.2 With a storefront or arcade base, commercial and office uses are permitted on the ground floor.
- 4.1.3 Internal parking is permitted behind occupied uses on the primary street.

4.2 Basement & Upper Story Uses

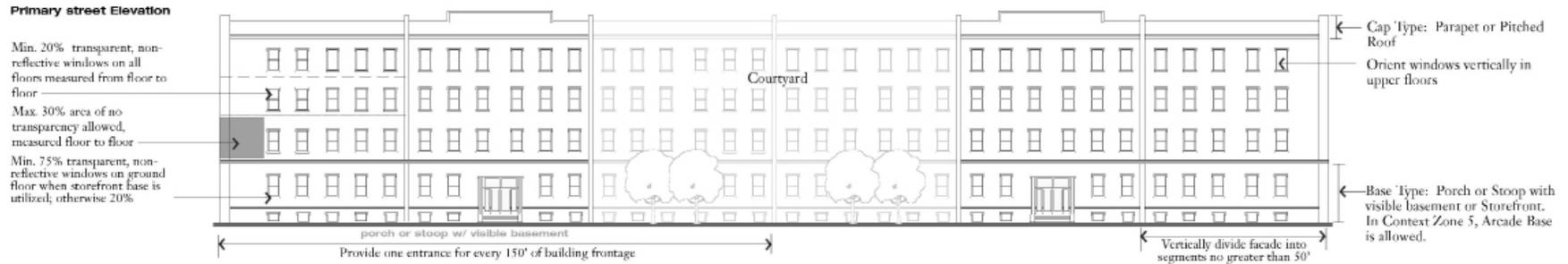
- 4.2.1 Commercial, office, residential and parking are allowed in the basement.
- 4.2.2 Commercial, office and residential uses are allowed in the upper floors.
- 4.2.3 Internal parking is permitted behind occupied uses on the primary street.

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5.0 FACADE REQUIREMENTS

5.1 Transparency

- 5.1.1 With a porch or stoop base, a minimum of 20% of the entire front, side corner, and courtyard facade must be comprised of transparent, non-reflective windows.
- 5.1.2 With a storefront or arcade base, a minimum of 75% of the ground floor facade between 2' and 8' above the finished floor and a minimum of 20% of the upper floors shall have transparent, non-reflective windows.
- 5.1.3 A maximum area of 30% of the front, corner sideyard, and courtyard facade per floor may have no transparency.



5.2 Building Entrance

- 5.2.1 The building's main entrance must be on the primary street. Entrances at the corner of a building satisfy this requirement.
- 5.2.2 Provide minimum one entrance for every 150' of building frontage.

6.3 Facade Proportions

- 6.3.1 The facade shall be vertically divided into segments no larger than 50'.
- 6.3.2 Upper floor windows must be vertically oriented.
- 6.3.3 Horizontal expression lines should define the base and cap, especially on buildings over 3 floors.

6.0 FACADE ELEMENTS

6.1 Allowable Base Types

- 6.1.1 Porch or stoop with or without visible basement, and storefront are allowable base types in both zones. (See Definitions for description.)
- 6.1.2 In Context Zone 5, arcade base is allowable base type on primary, secondary, and/or courtyard facade. (See Definitions for description.)

6.2 Allowable Cap Types

- 6.2.1 Parapet or Pitched Roof are allowable cap types, screening the roof and roof appurtenances beyond. (See Definitions for description.)

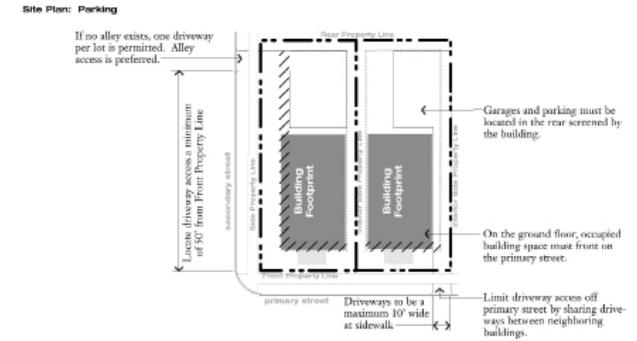
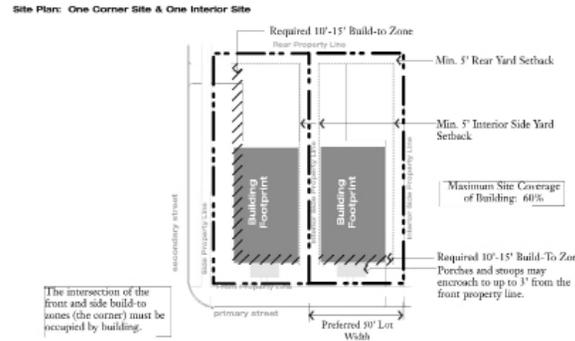
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Northern Neighborhood Overlay Zone:

Form-Based Code Component

Building Type Standards: Apartment Building



1.0 BUILDING SITING

1.1 Street Frontage

- 1.1.1 The intersection of the front and side build-to zones (the corner) must be occupied by building.
- 1.1.2 Front and side building facades must be constructed within a build-to zone, located between 10' and 15' into the site from the property line.
- 1.1.3 Porches or stoops may be constructed between 3' and 10' into the site from the front or side property line.

1.2 Buildable Area

- 1.2.1 Buildings may cover a maximum of 60% of the site.
- 1.2.2 Preferred lot width is 50'; maximum lot width is 100'.

1.3 Interior Side Yard Setback

- 1.3.1 The interior side of the building must be setback a minimum of 5' from interior side property line.

1.4 Rear Yard Setback

- 1.4.1 The rear of the building must be set back a minimum of 5' from the rear property line.

2.0 OFF-STREET PARKING

2.1 Location

- 2.1.1 All off-street surface parking and garages must be located in the rear of the lot, fully screened from the front property line by building.

- 2.1.2 Structured parking is permitted internally, but must be located behind occupied uses on the ground floor of the primary street or in the basement of the building.

2.2 Driveways & Access

- 2.2.1 If no alley exists, one driveway per lot is permitted; alley access is preferred.
- 2.2.2 Driveway access from the secondary street must be located 50' from the front property line.
- 2.2.3 Shared parking facilities and driveways are encouraged.
- 2.2.4 Driveways may not be wider than 10' from the curb to the rear of the principal building, especially at the sidewalk.

2.3 Screening & Landscaping

- 2.3.1 Parking facilities located adjacent to the right-of-way must be screened with landscaping and ornamental metal fencing. This will only occur on secondary streets.
- 2.3.2 Parking provided for more than one vehicle must be landscaped with a minimum of 1 shade tree per 10 parking spaces; minimum 1 tree.

2.4 Parking Requirements

- 2.4.1 Off-street parking facilities are required for multi-family residential uses at a rate of 1 space for unit

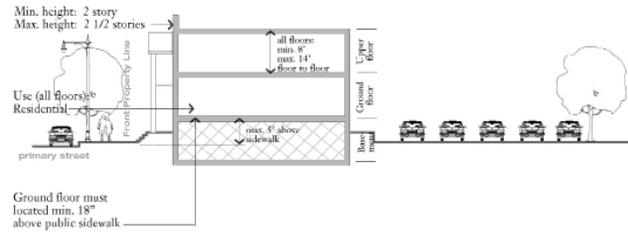
3.0 HEIGHT REQUIREMENTS

3.1. Building Height

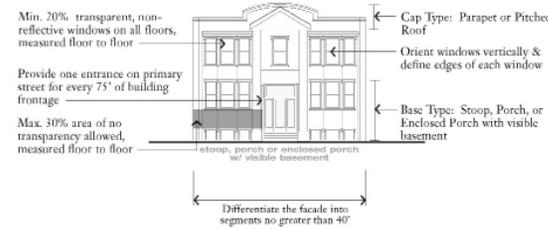
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Site Section



Primary street Elevation



all floors:
min. 8'
max. 14'
floor to floor

3.1.1 Building height is measured in stories; the half story allows for a visible basement.
3.1.2 Buildings shall be a minimum of 2 stories in height and a maximum of 2 1/2 stories in height.

3.2 Floor Heights

3.2.1 Allowable floor height is a minimum of 8', maximum 14', as measured floor to floor.
3.2.2 Ground floor must be located a minimum of 18" above the sidewalk.
3.2.3 Visible basement height is a maximum of 5' above the public sidewalk elevation.

3.3 Accessory Building Height

3.3.1 Accessory building shall be a maximum of 2 stories in height.
3.3.2 Accessory building may not be taller than principal building.

3.4 Cap Type Height

3.4.1 Pitched Roofs may not be less than 6:12 (rise:run); an approximately 12:12 pitch is preferred.

4.0 USES

4.1 Uses

4.1.1 In the principal building, residential uses allowed on all floors. One or more units allowed.
4.1.2 Parking is allowed in basement.
4.1.3 In the accessory building, parking is permitted on the ground floor, residential on the upper floor.

5.0 FACADE REQUIREMENTS

5.1 Transparency

5.1.1 A minimum of 20% of the front and side facade shall have transparent, non-reflective windows.
5.1.2 A maximum area of 30% of the front or side facade may have no transparency.

5.2 Building Entrance

5.2.1 The building's main entrance must be on the primary street.
5.2.2 Provide minimum one entrance for every 75' of building frontage.

6.0 FACADE ELEMENTS

6.1 Allowable Base Types

6.1.1 Stoop, porch, or enclosed porch with visible basement are permitted base types. Porches may be two story in height to allow a second floor balcony.

6.2 Allowable Cap Types

6.2.1 Parapet is allowable cap type, screening the roof and roof appurtenances beyond.

6.3 Facade Proportions

6.3.1 The facade shall be vertically divided into segments no larger than 40'.
6.3.2 Orient windows vertically and define the edges of windows.

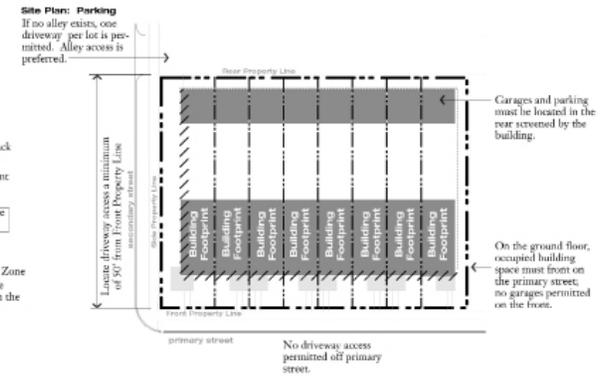
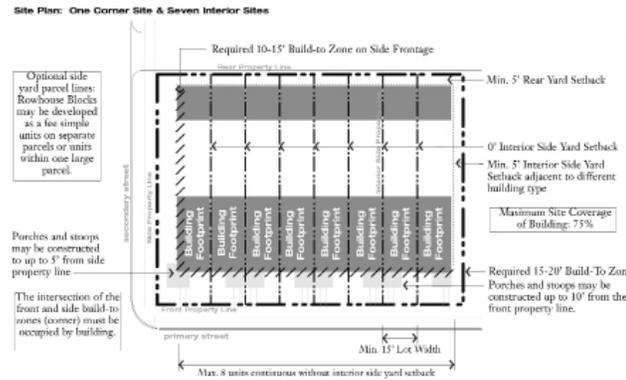
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Northern Neighborhood Overlay Zone:

Form-Based Code Component

Building Type Standards: Rowhouse Site



1.0 BUILDING SITING

1.1 Street Frontage

1.1.1 The intersection of the front and side build-to zones (corner) must be occupied by building.

1.1.2 Front building facade must be constructed within a build-to zone, located between 15' and 20' into the site from the front property line.

1.1.3 The side building facade must be constructed within a build-to zone, located between 10' and 15' into the site from the side property line.

1.1.4 Porches and stoops may be constructed between 10' and 15' into the site from the front property line.

1.1.5 Porches and stoops may be constructed between 5' and 10' into the site from the side property line.

1.2 Buildable Area

1.2.1 Buildings may cover a maximum of 75% of the site.

1.2.2 Minimum lot width is 15'.

1.3 Interior Side yard Setback

1.3.1 No interior side yard setback is required between eight continuous rowhouse.

1.3.2 A maximum of 8 continuous rowhouses are permitted without side yard setbacks.

1.3.3 Between continuous groupings of rowhouses, the interior side of the building must be setback a minimum of 5' from interior side property line.

1.4 Rear Yard Setback

1.4.1 The rear of the building must be set back a minimum

of 5' from the rear property line.

2.0 OFF-STREET PARKING

2.1 Location and Entrances

2.1.1 All off-street parking and garages must be located in the rear of the lot, fully screened from the front property line by building.

2.2 Driveways & Access

2.2.1 If no alley exists, one driveway per lot is permitted located off the secondary street; alley access is preferred. Driveway access is not permitted off the primary street.

2.2.2 Driveway access from the secondary street must be located 50' from the front property line.

2.3 Screening & Landscaping

2.3.1 Parking facilities located adjacent to the right-of-way must be screened with landscaping and ornamental metal fencing. This will only occur on secondary streets.

2.3.2 Parking provided for more than one vehicle must be landscaped with a minimum of 1 shade tree per 10 parking spaces; minimum 1 tree.

2.4. Parking Requirements

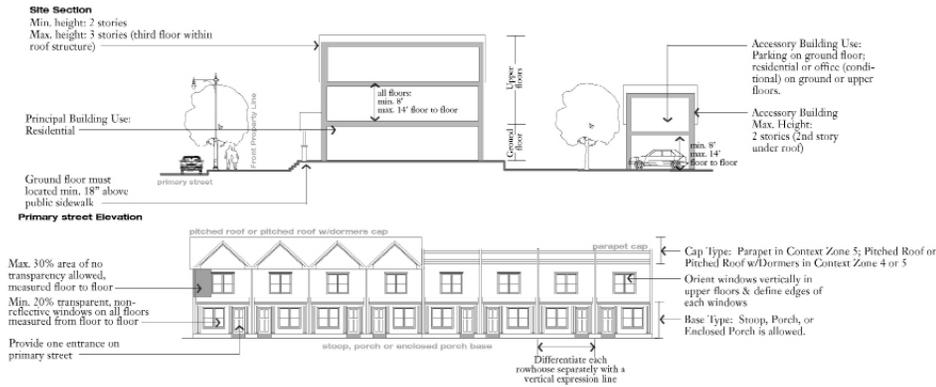
2.4.1 Off-street parking facilities are required for single family residential uses at a rate of 1 space per household

3.0 HEIGHT REQUIREMENTS

3.1 Building Height

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3.1.1 Building height is measured in stories.
 3.1.2 Buildings shall be a minimum of two stories and a maximum of three stories in height. The third story must be located fully within the roof structure.

3.2 Floor Heights

3.2.1 Allowable floor height is a minimum of 8', maximum of 14', as measured from floor to floor.
 3.2.2 Ground floor must be located a minimum of 18" above sidewalk.

3.3 Accessory Building Height

3.3.1 Accessory building shall be a maximum of 2 stories in height. Second story must be located within the roof structure.

3.4 Cap Type Height

3.4.1 Parapets must be a minimum of 2' in height.
 3.4.2 Pitched Roofs may not be less than 6:12 (rise:run); an approximately 12:12 pitch is preferred.

4.0 USES

4.1 Uses

4.1.1 In the principal building, residential uses allowed on all floors.
 4.1.2 In the accessory building, parking, office and residential allowed on the ground floor and office and residential allowed on the upper floors.
 4.1.3 Office uses subject to conditions.

5.0 FACADE REQUIREMENTS

5.1 Transparency

5.1.1 A minimum of 20% of the front and side facade shall have transparent, non-reflective windows.
 5.1.2 A maximum area of 30% of the front or side facade may have no transparency.

5.2 Building Entrance

5.2.1 The building's main entrance must be located on the primary street.

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6.0 FACADE ELEMENTS

6.1 Allowable Base Types

6.1.1 Stoop, porch, or enclosed porch are permitted base types.

6.2 Allowable Cap Types

6.2.1 In Context Zone 5, a Pitched Roof, Pitched Roof with Dormers or a Parapet are allowable cap types.
 6.2.2 In Context Zone 4, a Pitched Roof or Pitched Roof with Dormers are allowable cap types.

6.3 Facade Proportions

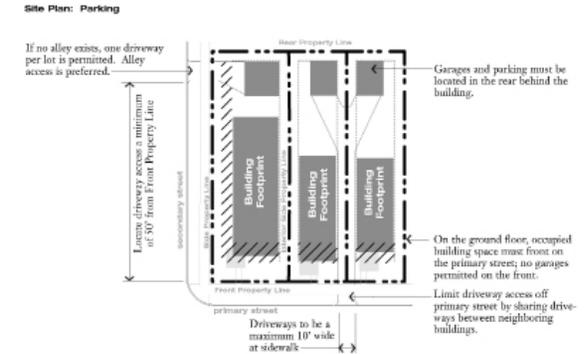
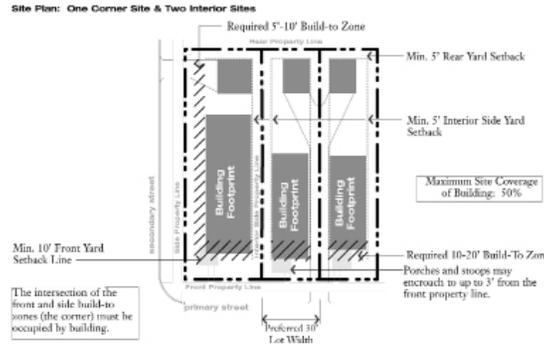
6.3.1 Differentiate each rowhouse separately with a vertical expression line.
 6.3.2 Orient windows vertically and define the edges of windows.



Northern Neighborhood Overlay Zone:

Form-Based Code Component

Building Type Standards: Cottage House



1.0 BUILDING SITING

1.1 Street Frontage

- 1.1.1 The intersection of the front and side build-to zones (the corner) must be occupied by building.
- 1.1.2 Front building facade must be constructed within a build-to zone, located between 10' and 20' into the site from the front property line.
- 1.1.3 Side facade must be constructed within a build-to zone, located between 5' and 10' into the site from the side property line.
- 1.1.4 Porches or stoops may be constructed between 3' and 10' into the site from the front or side property line.

1.2 Buildable Area

- 1.2.1 Buildings may cover a maximum of 50% of the site.
- 1.2.2 Preferred lot width is 30'; maximum lot width is 60'.

1.3 Interior Side Yard Setback

- 1.3.1 The interior side of the building must be setback a minimum of 5' from interior side property line.

1.4 Rear Yard Setback

- 1.4.1 The rear of the building must be setback a minimum of 5' from the rear property line.

2.0 OFF-STREET PARKING

2.1 Location and Entrances

- 2.1.1 All off-street surface parking and garages must be

located in the rear of a lot, behind the building.

- 2.1.2 Garages or parking may not be located on the front facade; ground floor of the front facade must be occupied space.

2.2 Driveways & Access

- 2.2.1 If no alley exists, one driveway per lot is permitted; alley access is preferred.
- 2.2.2 Driveway access from the secondary street must be located 50' from the front property line.
- 2.2.3 Shared driveways are encouraged.
- 2.2.4 Driveways may not be wider than 10' from the curb to the rear of the principal building, especially at the sidewalk.

2.3 Parking Requirements

- 2.3.1 Off-street parking facilities are required for single-family residential uses at a rate of 1 space per household.
- 2.3.2 Off-street parking for accessory units is not required

3.0 HEIGHT REQUIREMENTS

3.1 Building Height

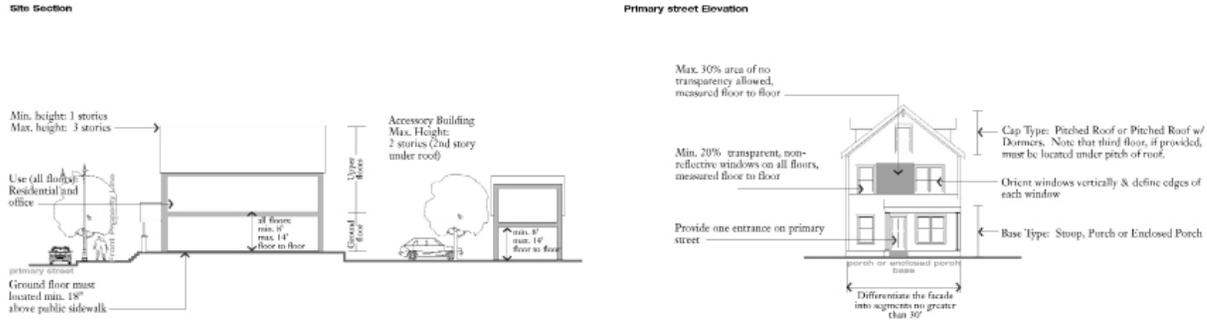
- 3.1.1 Building height is measured in stories.
- 3.1.2 Buildings shall be a minimum of 1 story in height and a maximum of 3 stories in height. The third story must be located fully within the roof structure.

3.2 Floor Heights

- 3.2.1 Allowable floor height is a minimum of 8', maximum 14', as measured floor to floor.
- 3.2.2 Ground floor of the principal building must be

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located a minimum of 18” above the public sidewalk.

3.3 Accessory Building Height

3.3.1 Accessory buildings shall be a maximum of 2 stories in height. The second story must be located full within the roof structure.

3.4 Cap Type Height

3.4.1 Pitched Roofs may not be less than 6:12 (rise:run); an approximately 12:12 pitch is preferred.

4.0 USES

4.1 Uses

- 4.1.1 In the principal building, residential uses allowed on all floors.
- 4.1.2 In the accessory building, parking, office and residential allowed on the ground floor; and office and residential allowed on the upper floor.
- 4.1.3 Office uses are conditional.

5.0 FACADE REQUIREMENTS

5.1 Transparency

- 5.1.1 A minimum of 20% of the front and side facade shall have transparent, non-reflective windows.
- 5.1.2 A maximum area of 30% of the front or side facade may have no transparency.

5.2 Building Entrance

- 5.2.1 One building entrance must be located on the pri-

mary street.

6.0 FACADE ELEMENTS

6.1 Allowable Base Types

6.1.1 Stoop, porch, or enclosed porch are permitted base types. (See Definitions for description.)

6.2 Allowable Cap Types

6.2.1 Pitched roof or pitched roof with dormers are allowable cap types. (See Definitions for description.)

6.3 Facade Proportion

- 6.3.1 Differentiate the facade into segments no greater than 30°.
- 6.3.2 Orient windows vertically and define the edges of the windows.

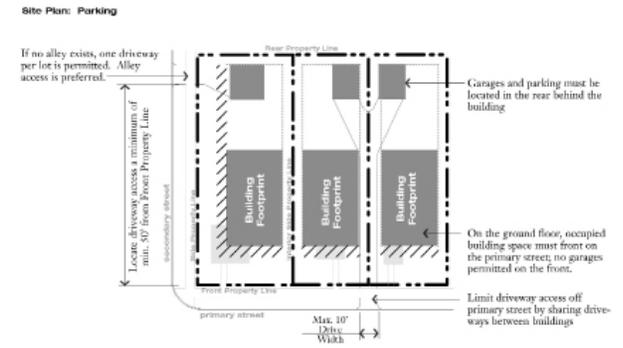
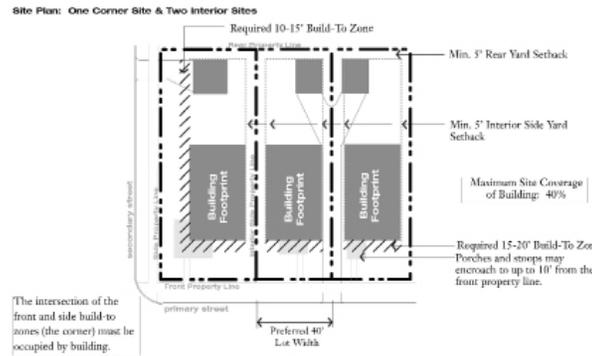
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Northern Neighborhood Overlay Zone:

Form-Based Code Component

Building Type Standards: Manor House



1.0 BUILDING SITING

1.1 Street Frontage

1.1.1 The intersection of the front and side build-to zones (the corner) must be occupied by building.

1.1.2 Front facade must be constructed within a build-to zone, located between 15' and 20' into the site from the front property line.

1.1.3 Side facade must be constructed within a build-to zone, located between 10' and 15' into the site from the side property line.

1.1.4 Porches or stoeps may be constructed between 10' and 15' into the site from the front property line.

1.2 Buildable Area

1.2.1 Buildings may cover a maximum of 40% of the site.
1.2.2 Preferred lot width is 40'; maximum lot width is 80'.

1.3 Interior Side Yard Setback

1.3.1 The interior side of the building must be set back a minimum of 5' from the interior side property line.

1.4 Rear Yard Setback

1.4.1 The rear of the building must be set back a minimum of 5' from the rear property line.

2.0 OFF-STREET PARKING

2.1 Location and Entrances

2.1.1 All off-street surface parking and garages must be located in the rear of a lot, behind the building.

2.1.2 Garages or parking may not be located on the front facade; ground floor of the front facade must be occupied space.

2.2 Driveways & Access

2.2.1 If no alley exists, one driveway per lot is permitted; alley access is preferred.

2.2.2 Driveway access from the secondary street must be located minimum 50' from the front property line.

2.2.3 Shared driveways are encouraged.

2.2.4 Driveways may not be wider than 10' from the curb to any part of the principal building, especially at the sidewalk.

2.3 Parking Requirements

2.3.1 Off-street parking facilities are required for singlefamily residential uses at a rate of 1 space for household.

2.3.2 Off-street parking for accessory units is not required.

3.0 HEIGHT REQUIREMENTS

3.1 Building Height

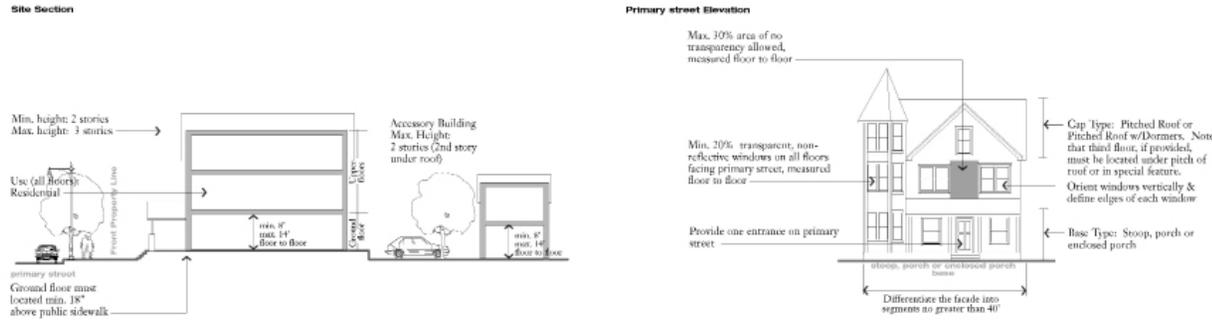
3.1.1 Building height is measured in stories.

3.1.2 Buildings shall be a minimum of 2 stories in height and a maximum of 3 stories in height.

3.1.3 The third story must be located within the roof structure or within a special element such as a turret or cupola.

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3.2 Floor Heights

- 3.2.1 Allowable floor height is a minimum of 8', maximum 14', as measured floor to floor.
- 3.2.2 Ground floor of the principal building must be located a minimum of 18" above the public sidewalk.

3.3 Accessory Building Height

- 3.3.1 Accessory building shall be a maximum of 2 stories in height. The second story must be located fully within the roof structure.
- 3.3.2 Accessory building may not be taller than principal building.

3.4 Cap Type Height

- 3.4.1 Pitched Roofs may not be less than 6:12 (rise:run); an approximately 12:12 pitch is preferred.

4.0 USES

4.1 Uses

- 4.1.1 In the principal building, residential uses allowed on ground floor and upper floors.
- 4.1.2 In the accessory building, parking, office and residential allowed on the ground floor and residential and office on the upper floor.
- 4.1.3 Office uses are conditional.

5.0 FACADE REQUIREMENTS

5.1 Transparency

- 5.1.1 A minimum of 20% of the front and side facade

- shall have transparent, non-reflective windows.
- 5.1.2 A maximum area of 30% of the front or side facade may have no transparency.

5.2 Building Entrance

- 5.2.1 One building entrance must be located on the primary street.

6.0 FACADE ELEMENTS

6.1 Allowable Base Types

- 6.1.1 Wood, stoop, or enclosed porch are permitted base types. Porches may be two story in height to allow a second floor balcony.

6.2 Allowable Cap Types

- 6.2.1 Pitched roof or pitched roof with dormers is allowable cap type.

6.3 Facade Proportions

- 6.3.1 Differentiate the facade into segments no greater than 40'.
- 6.3.2 Orient windows vertically and define the edges of the windows.

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**Northern Neighborhood
Overlay Zone:**

Form-Based Code Component

Land Use Overlay

Main Street

Fairview's Main Street seeks to create mixed-use areas that are active both during the day and at night. The businesses attract those living in the adjacent neighborhood and those from around the community. There is a special effort to encourage complementary businesses within convenient walking distance of the Sports Complex. The Main Street is concentrated along Gambell Street running from approximately 16th Avenue northward to 9th Avenue. These blocks are compact and walkable and have alleys for rear access, garbage, and deliveries. They are intended to be well served by transit.

Main Street buildings are intended to be two to four stories in height. The ground story houses commercial, office, and lobby uses and has a

high level of transparency. The upper stories contain residential or office uses. These floors are also transparent allowing for "eyes on the street" 24 hours a day and creating comfortable and safe pedestrian pathways below.

Main Street buildings are built up to the sidewalk, within a narrow build-to zone, and with little to no side yard setback. A continuous streetwall exists as a result of this type of development. Internal parking is permitted as long as it is not adjacent to the front facade on a primary street.



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Main Street lots are not typically large enough for internal parking, requiring shared parking facilities throughout the commercial center for long-term employee and resident parking. Short-term parking is available on the street.



Downtown

Downtown oriented sites are found in the densest part of the Fairview community. These sites serve to complement the goals of the Downtown Plan by providing a robust mixture of urban center land uses including affordable and market-rate workforce housing. This active mixed-use district

is developed on compact and walkable blocks that are served by alleys. The area from 9th Avenue to 3rd Avenue along Gambell Street is easily traversed on foot or bicycle; it should be very well served by transit, linking it to the smaller commercial area eastward along 5th

and 6th Avenues, Fairview's Main Street southward along Gambell Street and the surrounding residential neighborhoods.

The buildings are a minimum of three stories in height, but are generally over six stories. The ground story can have commercial uses, lobby space for the upper stories, and parking. This

story is comprised of large display windows to allow pedestrians to see into a store and those working or shopping inside to see out. The upper floors of Downtown sites house additional commercial or office uses, and in many buildings, residential units. The upper floors

are also transparent to allow those working or living on these floors to see the activity on the street below. The pedestrian environment is both interesting and rewarding because of the buildings' transparency and other facade details.

Downtown site buildings are constructed within a small build-to zone along the side-

walk. A streetwall, or continuous row of buildings facades, is created with the buildings as little to no space exists between them. Parking for each building can be found on site or can be shared in facilities that are centrally located around the Downtown Sites. On-street parking serves short-term needs.



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Cottage Shop

The Cottage Shop site, which houses commercial uses, resembles a residential building or a slightly less dense Main Street Site. Cottage Shop sites are developed on compact and walkable blocks that may or may not have an alley system for rear access. Found along the west side of Ingra Street north of 11th Avenue, both sides of Ingra south of 14th Avenue and along 15th Avenue west of Gambell Street to Fairbanks Street and east of Ingra Street to the alley, it can be clustered to create a commercial corridor of two to three blocks or stand alone.

Cottage Shops are one to two stories in height. Vertically oriented windows provide transparency on the upper stories. The ground story has a base type that offers a slightly lower level of transparency than the Main Street storefront, but still allows a potential patron to see inside

the store and those shopping or working inside to see out. This level of transparency creates interest and makes the pedestrian journey more rewarding.

Cottage Shops are constructed in a build-to-zone that is slightly set back from the sidewalk. Parking is located in the rear of the lot and can be accessed from an alley, if one exists, a secondary street, or the primary street. Shared driveways are encouraged, if the access is from the primary street.

All parking facilities should be screened from the adjacent right-of-way and view from the primary street with landscaping and fencing. Shared parking facilities frequently exist and are centrally located to serve the long term parking needs of numerous buildings. On-street parking serves the short term parking needs of the business' patrons.



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Courtyard Site

The Courtyard site can be located in the area north of 15th Avenue. This area has compact walkable blocks. Courtyard sites can serve as a single or mixed-use building housing residential and office uses. In the area east of Ingra Street this site is frequently used as a transition between the commercial center and residential neighborhood. In the area west of Ingra Street, these buildings provide residential units in close proximity to the businesses found in the Downtown



yard site may be a Stoop or Porch with visible basement, or an Arcade. The upper stories have vertically oriented windows allowing those living or working in the upper stories to also see the activity below.

The Courtyard site building is constructed within a build-to zone along the sidewalk that is slightly set back. With the exception of the courtyard space, the building has a continuous facade along the street. Parking is provided in the rear

of the building and is accessed from an alley or a secondary street. Parking is not visible from the primary street, as it is screened from view. On-street parking provides space for visitors and patrons of the ground story uses.



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The Courtyard site building can be two (East Fairview) to six (West Fairview) stories in height. The permitted range of heights depends on the zone in which the building it located. Both the ground and upper stories may contain parking, commercial, office, or residential uses. The base type of the Court-



Rowhouse Site



The Rowhouse Site is developed on a block that is compact and easily traversed by foot. Located in both the residential area west of Gambell Street and select areas along 17th Avenue, the sites contain a single residential unit.

Rowhouses are two stories in height. The main entrance to the building is from a Porch, Enclosed Porch, or a Stoop with a visible basement base type on the primary street. The slightly raised base type provides some privacy while windows provide an

appropriate level transparency on all stories.

The building is constructed within a build-to-zone that is set back from the sidewalk, creating a small front yard that may be landscaped. The

roof of the Rowhouse Site building may be flat or pitched, depending on which zone it is located. Parking is located in the rear of the lot and should be hidden from view of the primary street. Access to this parking is from an alley. On-street parking serves as visitor parking.



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Apartment Building Site

Apartment Building Sites are located in both East and West Fairview on compact and walkable blocks that are close to the neighborhood commercial center. Apartment Buildings can be found throughout the Fairview neighborhood, but frequently serve as a transition between the more dense commercial center and the less dense surrounding neighborhoods.

Apartment Sites are two to two and a half-stories in height. Used for residential purposes, the Apartment houses multiple residential units. The main entrance of the building is from a Porch or Stoop with a visible basement or an Enclosed Porch base type off the front facade. Windows provide transparency and the raised base type helps to



maintain privacy.

The Apartment Building is constructed within a build-to zone that is set back from the sidewalk allowing for a landscaped front yard. Parking is

located in the rear of the lot and is screened from the adjacent right-of-way and view from the primary street with landscaping and fencing. Access to all parking facilities should be from the alley or secondary street. If neither access point exists, shared driveways

from the primary street are permitted. Parking facilities of adjacent Apartments should be shared, or at a minimum, linked. On-street parking can serve as visitor parking.



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Cottage House Site



The Cottage House Site is found throughout Fairview. They are developed on compact and walkable blocks with the narrowest residential lots permitted in the template code. Cottage House Sites contain single-family residential units. Two family units, either stacked or side-by-side, can be included within these buildings.



upper stories appropriate for a residential unit. The raised Porch allows the residents some privacy, while still allowing a clear view of the activities on the street.



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Cottage House Site buildings can be up to three stories, if the third story is located within the roof structure. The front facade of the site has a base type of a Porch or an Enclosed Porch, which also serves as the primary entrance of the building. The Cottage House Site has a minimum transparency level on both the ground and

Cottage House Sites are located in a build-to zone that is slightly set back from the front property line and they have a small side yard setback. These buildings have a pitched roof, which can have dormers if it is three stories in height. Access to private garages

should be from a secondary street or an alley. If neither is possible, access is permitted through a driveway from the primary street. Shared driveways, between adjacent lots, are strongly encouraged.



Manor House Site

Manor House Sites have lots and buildings that are slightly larger than the Cottage Houses; they are also located a little further back on the lot. Manor House Sites are located on blocks similar to those of the Cottage Houses in the Fairview area, which are walkable.

Manor House buildings are two to three stories in height, with the 3rd floor being located within the roof structure. Used for residential purposes, the Manor House has a main entrance off the front facade from one of three base types: Porch, Enclosed Porch, or Stoop. Windows provide transparency and the raised base type, like the Cottage House and Rowhouse buildings, helps to maintain privacy.



The Manor House building is set back from the sidewalk. A small interior side yard setback is also required. These buildings may have a

pitched roof or a pitched roof with dormers. Parking is located in the rear of the lot; private garages should be located so that they are not visible from the primary street.

Access to garages should be from an alley or secondary street. If neither access point exists,

shared driveways from the primary street are permitted. On-street parking can serve as visitor parking.

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APPENDIX C

**FAIRVIEW PLAN
FOUNDATION
DOCUMENTS**

Copies of these documents will be provided in the formal submission to the Municipality of Anchorage.

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