

Form Based Zoning

Can Fairview create a
unique Sense of Place?

What is it?

- A type of Municipal code that regulates the built environment to achieve a specific urban form.
- Focus is on where you want to be.
- Form based zoning is built around a vision of the future.
- Creates a predictable public realm by primarily controlling physical form with a lesser focus on land use.

What do we have now?

- Title 21 of the Municipal Code is an example of Euclidean zoning.
- Focus is to primarily control land use and density.
- Emphasis is on the use of land and not the form of the structures.

LAND USE PLANNING

ANCHORAGE MUNICIPAL CHARTER,
CODE AND REGULATIONS
MUNICIPALITY OF ANCHORAGE, ALASKA

This pamphlet is a reprint of Title 21, Land Use Planning, Anchorage Municipal Code, published by Order of the Assembly.

Supplement No. MA 34 & MA 35

This supplement contains all ordinances and resolutions approved through: September 30, 2006

Key Differences

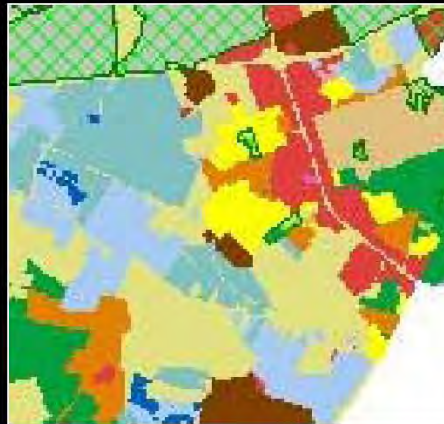
Traditional Zoning	Form-Based Codes
Use-based	Less focus on use
Districts	Districts/Streets
Emphasis on uses/rigid patterns/building placement unpredictable	Emphasis on building form/how buildings fit the public realm
Single use districts	Mixed uses
Uniformity in neighborhoods	Diversity in neighborhoods
Setbacks	Build to lines
Focus on site - little emphasis on right-of-way	Attention to the public realm & streetscape
Limited design standards	Focus on architectural form and public spaces

Regulating Mechanism: Balancing Place-Related Concerns

Form

Use/Density

Management



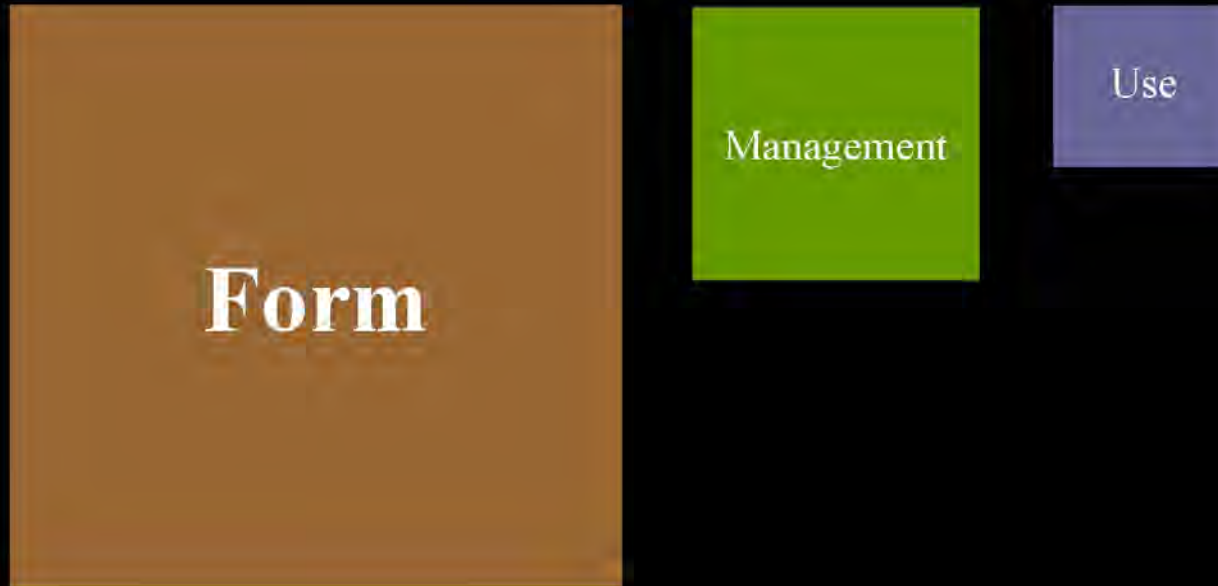
Regulating Mechanism: Today: Euclidean Zoning

Use/Density

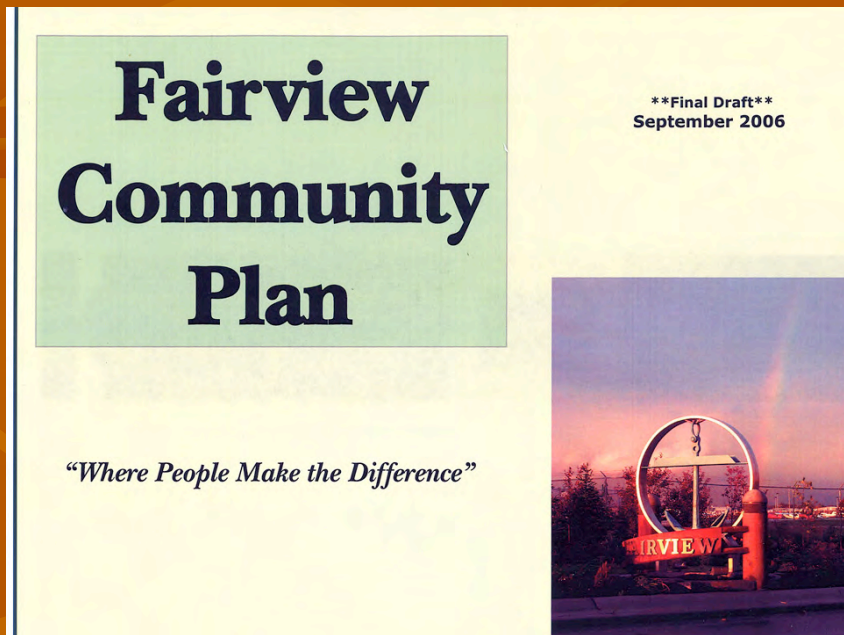
Management

Form

Regulating Mechanism: Balance -- Form-Based Codes



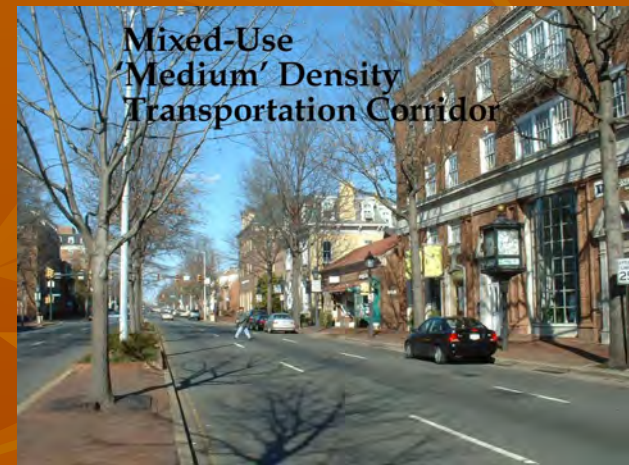
Form-Based Code Benefits



- Can be used to implement a community vision.
- Simple, graphic-based guidelines with minimal text.
- Use is largely predictable. Building form is entirely predictable.
- Controls the character and function of the public realm.

Potential Benefits

- Shifts emphasis from zoning compliance to development quality
- Works for both redevelopment and new development
- Can speed development review
- Can produce more urban, pedestrian oriented environments



Form Based Codes

Can be used to:

- Maintain existing character, historical quality
- Improve character and function of a district or neighborhood
- Transform a community's image

Auto-oriented Strip Commercial



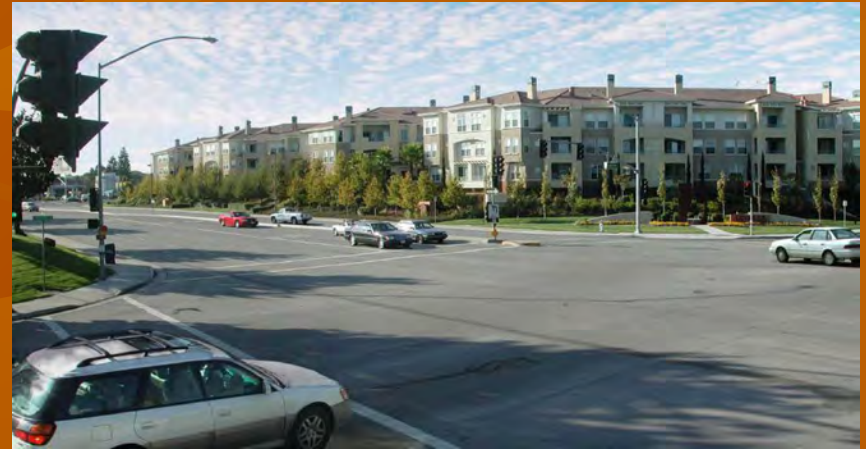
or



Pedestrian-oriented Mixed-use Commercial

Potential Benefits

- Form Based Code can provide more certainty for redevelopment of land along the Gambell/Ingra Street Corridor.
- Both of these accomplish “Infill and develop in existing urbanized areas. Build affordable multi-family housing near transportation corridors.”
- Which do you prefer?



Lessons Learned



- Widened sidewalk, street furniture and landscaping all indicate an effort to improve the pedestrian environment
- What is missing?

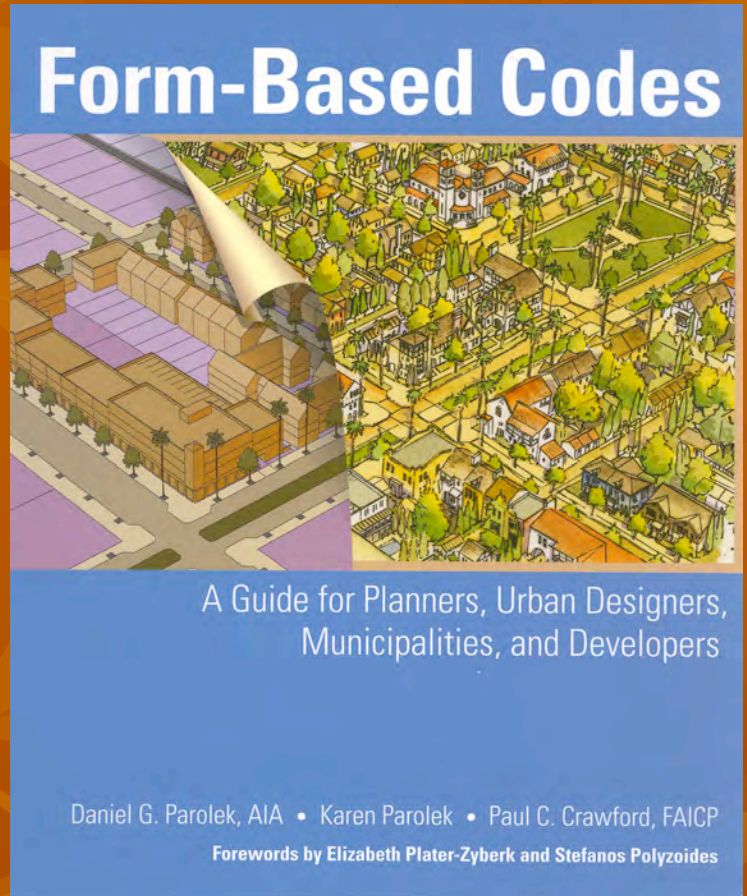
Lessons Learned



- Answer: The human scale.
- Moving the buildings close to the sidewalk with open facades creates a much more welcoming atmosphere.

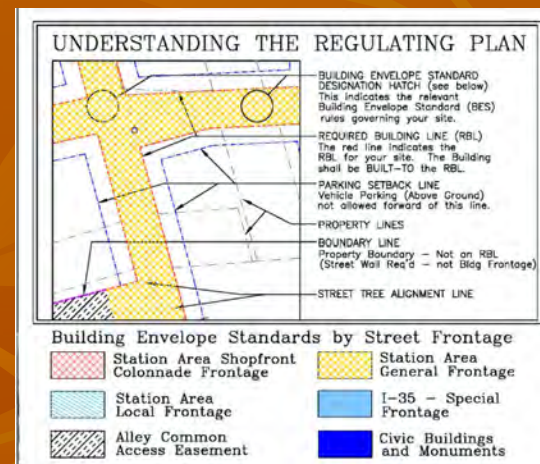
A Form Based Code includes

- **Regulating Plan.** Designates areas where different standards apply based on an urban design strategy.
- **Building, Public Space, and Street Standards.** Specifications for building form and location, sidewalks, streets, and street furniture.
- **Architectural Standards. The Dress Code.** Addresses windows, doors, wall treatments and other visual features.
- **Definitions.** Clear and precise use of terms.



Regulating Plan

- Designates areas where different standards apply based on an urban design plan.
- Looks much like a traditional zoning map and may be district based.
- Can also be based on street frontage.



Building, Public Space and Street Standards

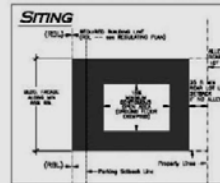
- Specifications for lot configuration, building form and location, sidewalks, streets and street furniture.

BUILDING ENVELOPE STANDARDS: GENERAL SITES



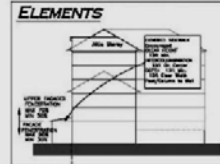
Building Height

1. The height of the principal building is measured in stories.
2. Each principal building shall be at least four (4) stories in height, but no greater than nine (9) stories in height, except as otherwise provided in the assumed minimum conditions on the regulated plan.



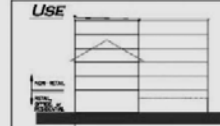
Street Frontage

1. On each lot the building facade shall be built to the full, for at least eight (8) percent (8%) of the full length.
2. The building height shall be built to the full, within thirty (30) feet of a side corner.
3. These portions of the building facade (the required minimum) shall be no less than eight (8) feet in height, except as otherwise provided to allow for windows, and enclosures.



Facade Elements

1. Window heights of wall exceeding twenty (20) feet shall be proportioned on all walls.
2. Transparency of the window glass shall comprise at least fifty percent (50%), but not more than ninety percent (90%) of the window area situated between two (2) and ten (10) feet above the adjacent public sidewalk on which the facade fronts.
3. The window area shall include columns or residential units. See Height Equivalencies below for specific requirements unique to each use.



Upper Stories

Upper stories are not permitted on the upper stories (except those that are second story extensions of the second story use) (see Use, Section 2).

Parking Structure Height

Parking structures shall not exceed the roof or highest level of any principal building (but after 2004) located within 40 feet of the parking structure, regardless of whether the principal building is located on the same lot or on a separate lot.

GROUND STORY Height COMMENCE

1. The maximum floor-to-floor elevation shall be equal to, or greater than, the exterior sidewalk elevation in front of the building. It is a maximum ground floor elevation of eighteen (18) inches above the sidewalk.
2. The maximum floor-to-floor elevation shall be at least fifteen (15) feet of clear vertical height (floor to ceiling) comparable to the rest of the building, for at least one-half (1/2) of its area.
3. The maximum floor-to-floor elevation shall be no more than thirty (30) feet.

GROUND STORY Height Residential Units

1. The finished floor elevations shall be no less than thirty (30) inches and no more than forty (40) inches above the exterior sidewalk elevation in front of the building.
2. The first floor shall have an interior clear height (floor to ceiling) of at least nine (9) feet and a maximum exterior elevation of fourteen (14) feet.
3. The maximum floor-to-floor elevation shall be no more than thirty (30) feet.

setbacks and enclosures

Required Area

1. Buildings may occupy any portion of the lot behind the rear enclosure of any setbacks required by this Code.
2. A continuous open area equal to at least three percent (3%) of the total buildable area shall be preserved on the lot. Such continuous open areas may be located anywhere behind the parking setback, other than parking in front of the open area.
3. No part of any building, except changing rooms, restrooms, showers, or stores shall occupy the required lot area.

Side Lot Setbacks

There are no required side lot setbacks except where a side lot line is shared with a property located in a single-family residential zoning district. On a lot where a side lot line is shared with a property located within a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the shared lot line.

Design and Parking

1. Corner entries or parking area entrances shall be located at least twenty-five (25) feet away from any sidewalk or any other sidewalk on the same block, unless otherwise designated on the regulated plan.
2. Corner entries shall not have a clear height of greater than twelve (12) feet and a clear width exceeding

thirty (30) feet.

Corner entries on the upper story facades shall comprise at least fifty percent (50%), but no more than seventy percent (70%) of the facade area per story (measured as a percentage of the facade between floor levels).

Building Projections

1. Awnings, balconies, and kiosks shall not project closer than ten (10) feet to a sidewalk on any lot.
2. No part of any building, except overhanging eaves, awnings, balconies, air conditioners, signs, and signs that otherwise permitted by the Code, shall protrude into the street beyond the sidewalk.
3. Any awning that shall not project more than ten (10) feet beyond the sidewalk, maintain an interior clear width of at least four (4) feet and be identified such that the walls and windows are setback ninety (90) degrees (1/4 turn) to the primary wall from which they project.
4. Awnings that project over the sidewalk portion of a street shall maintain a clear height of at least ten (10) feet.

Decorative Elements

Decorative elements shall be provided along sidewalks at intervals not greater than twenty-five (25) linear feet.

Ground Floor

The ground floor shall house commercial or residential uses. See Height Equivalencies below for specific requirements unique to each use.

Upper Stories

Upper stories are not permitted on the upper stories (except those that are second story extensions of the second story use) (see Use, Section 2).

than the second is fourteen (14) feet.

At least eighty percent (80%) of each upper story shall have a minimum clear height (floor to ceiling) of at least nine (9) feet.

Minimum

Buildings having a floor area greater than one-half (1/2) of the floor area of the street in which the maximum is located shall be counted as full stories.

Street Wall Height

1. Street walls, not less than ten (10) feet in height or greater than eighteen (18) feet in height shall be required along any lot, building that is not otherwise occupied by the principal building in the lot.
2. The height of the street wall shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground elevation (once construction is complete).

Other

Other uses shall be located within the lot behind the rear enclosure of any setbacks required by this Code. See Height Equivalencies below for specific requirements unique to each use.

Setbacks

1. Setbacks shall be required to meet and maintain shall be the same means of vehicular access to a lot.
2. Access areas may be setback up to a maximum of twenty (20) feet behind the surrounding facade.
3. Vehicle parking areas on private property shall be located behind the facade setback line, except where parking is provided below grade.
4. These requirements are not applicable to on-street parking.

Corner Lots

Corner lots shall comply with the requirements for all lots, frontages - unless otherwise specified in this Code, there are no special provisions for side streets or secondary street frontages. Street frontage shall be considered to include all lots.

Setback Use and Coverage or Treatment

Setback use shall be required along any lot, frontage that is not otherwise occupied by a building on the lot. The setback shall be no less than thirty (30) feet behind the facade.

Public Space

Public space shall be provided along that portion of a sidewalk lot line not otherwise occupied by a building

Corner Entries

Corner entries are encouraged, but not required where provided. Corner entries shall have a minimum interior clear height of thirteen (13) feet except as otherwise provided for signs, street lighting and similar applications.

Street Frontage

1. There shall be a minimum of ten (10) feet of clear width between the facade and the adjacent points of columns of the sidewalk cover structure.
2. Signs shall be located at least twenty (20) feet on sidewalk.
3. Provisions for a continuous public access easement of width of at least four (4) feet wide running adjacent and parallel to the sidewalk cover structure shall be provided.
4. Signs shall be no more than ten (10) feet in height.
5. Signs shall be no more than ten (10) feet in height.
6. Signs shall be no more than ten (10) feet in height.

Street Wall

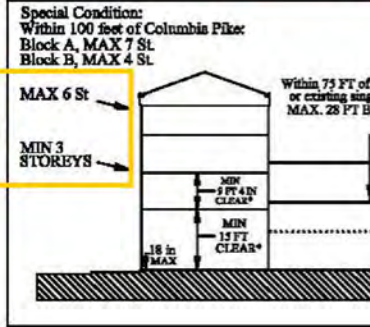
A vehicle entry gate no wider than eighteen (18) feet or a pedestrian entry gate no wider than ten (10) feet shall be provided within any required street wall.

Basics: Height

The Basics: Height



Height



BUILDING ENVELOPE STANDARDS: GENERAL SITES

HEIGHT

Building Height

- The height of the principal building is measured in stories.
- Each principal building shall be at least four (4) stories in height, but no greater than nine (9) stories in height, except as otherwise provided in the various development codes or on the rezoning plan.

Perching Structure Height

Perching structures shall not exceed the side setback nor any principal building that it after 2004) located within 40 feet of the parking structure, regardless of whether the principal building is located on the same lot or on an adjacent lot.

GROUND STORY HEIGHT COMMENCE

- The second story finished floor elevation shall be equal to or greater than the exterior sidewalk elevation in front of the building, to a minimum finished floor elevation of eight (8) inches above the sidewalk.
- The second story shall have at least fifteen (15) feet of clear interior height (floor to ceiling) contiguous to the rear footage for at least one-half (1/2) of its area.
- The maximum story extent for the second story is twenty-five (25) feet.

GROUND STORY HEIGHT: Residential Units

- The finished floor elevation shall be no less than thirty (30) inches and no more than sixty (60) inches above the exterior sidewalk elevation in front of the building.
- The first story shall have an interior clear height (floor to ceiling) of at least nine (9) feet and a maximum story extent of sixteen (16) feet.

Upper Story Height

- The maximum floor-to-floor story height for stories other than the second is fourteen (14) feet.
- At least eighty percent (80%) of each upper story shall have an interior clear height floor-to-ceiling of at least nine (9) feet.

Mezzanines

Mezzanines having a floor area greater than one-half (1/2) of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

STREET WALL Height

- A street wall, not less than ten (10) feet in height or greater than eight feet (8) feet in height shall be required along any rear footage that is not otherwise occupied by the principal building on the lot.
- The height of the street wall shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground sidewalk cross construction is complete.

Other

Unless a zoning code is located within forty (40) feet of an existing building, no development shall be permitted on any lot or property unless the minimum height requirements of the applicable zoning code are met. The minimum height requirements shall be the maximum story height code permit.

SITING

REAR AND SIDE SETBACKS

REAR AND SIDE SETBACKS

- Buildings that occupy any portion of the lot behind the lot, exclusive of any setbacks required by this code.
- A contiguous open area equal to at least fifteen percent (15%) of the total lot area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback, either at grade or at the second or third story.
- No part of any building, except overhanging eaves, awnings, balconies, or porches shall occupy the rear set of lot area.

Side Lot Setbacks

There are no required side lot setbacks except where a side lot line is shared with a property located in a single-family residential zoning district, the principal building shall be setback at least ten (10) feet from the shared lot line.

Garage and Parking

- Garage porches or parking area entrances shall be

than the setback is fourteen (14) feet.

- At least eighty percent (80%) of each upper story shall have an interior clear height floor-to-ceiling of at least nine (9) feet.

Mezzanines

Mezzanines having a floor area greater than one-half (1/2) of the floor area of the story in which the mezzanine is situated shall be counted as full stories.

STREET WALL Height

- A street wall, not less than ten (10) feet in height or greater than eight feet (8) feet in height shall be required along any rear footage that is not otherwise occupied by the principal building on the lot.
- The height of the street wall shall be measured from the adjacent public sidewalk or, when not adjacent to a sidewalk, from the ground sidewalk cross construction is complete.

Other

Unless a zoning code is located within forty (40) feet of an existing building, no development shall be permitted on any lot or property unless the minimum height requirements of the applicable zoning code are met. The minimum height requirements shall be the maximum story height code permit.

- Demolished houses to rear and alleys shall be the sole means of vehicular access to a lot.
- Garage porches may be setback up to a maximum of twenty-five (25) feet behind the front building facade.
- Vehicle parking areas on private property shall be located behind the rear setback line, except where parking is provided below grade.
- These requirements are not applicable to attached, detached, or

Alleys

There is no required setback from alley easements on lots having an alley access. There shall be a minimum setback of twenty-five (25) feet from the rear set line.

Corner Lots

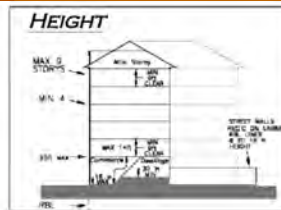
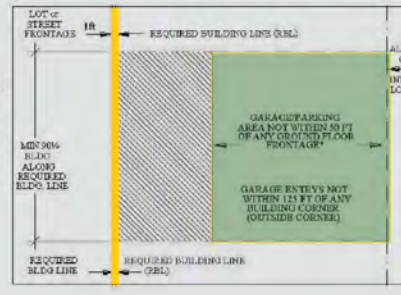
Corner lots shall satisfy the code requirements for all lot frontages - unless otherwise specified in the code. There are no required setbacks for side streets or secondary street frontages. Street frontages shall be continuous to include all lots.

Basics: Siting

The Basics: Siting: Build-to vs. Set-back



Siting



- Building Height**
- The height of the principal building is measured in stories.
 - Each principal building shall be at least four (4) stories in height. It is no greater than one (5) stories in height, except as otherwise provided in the zoning ordinance text or on the ordinance map.

Parking Structure Height
Parking structures that do not exceed the level of highest eave of any principal building built after 2004) located within 40 feet of the parking structure, regardless of whether the principal building is located on the same lot or on a separate lot.

- GROUND STORY HEIGHT: COMMERCIAL**
- The finished floor elevation from foundation shall be equal to, or greater than the exterior sidewalk elevation in front of the building, to a maximum finished floor elevation of eighteen (18) inches above the sidewalk.
 - The sidewalk shall have at least fifteen (15) feet of clear interior height (floor to ceiling) throughout the lot, but not less than four (4) feet in any area.
 - The maximum eave height for the ground story is twelve feet (12) feet.

- GROUND STORY Height: Residential Units**
- The finished floor elevation shall be no less than thirty (30) inches and no more than sixty (60) inches above the exterior sidewalk elevation in front of the building.
 - The finished floor elevation shall be no less than six (6) feet above the sidewalk, or at least six (6) feet and a maximum eave height of sixteen (16) feet.

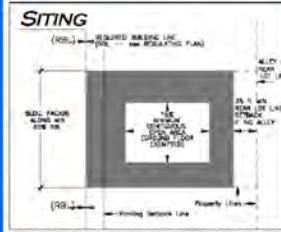
- Upper Story Height**
- The maximum floor-to-floor height for stories other

- than the stories in front shall be (4) feet.
- At least eighty percent (80%) of such upper stories shall have an interior clear height (floor to ceiling) of at least nine (9) feet.

Mechanics
Mechanics in a floor area greater than one-half (1/2) of the floor area of the story in which the mechanics is allowed shall be located on all stories.

- STREET WALL Height**
- A street wall not less than six (6) feet in height or greater than eight feet (8) feet in height shall be required along any wall, frontage, that is not otherwise occupied by the principal building on the lot.
 - The height of the street wall shall be measured from the adjacent public sidewalk or other not adjacent to a sidewalk, from the ground elevation (and construction to complete).

Door
Where a service side is located within forty (40) feet of an entrance to a principal building, the door shall be located within the setback line of the building. The door shall be located within the setback line of the building.



- Windows and Awnings**
- Buildings that occupy any portion of the lot shall be enclosed by any setbacks required by this code.
 - A contiguous open area equal to at least fifteen percent (15%) of the total building area shall be preserved on every lot. Such contiguous open area may be located anywhere behind the parking setback within 30 feet or at the second or third story.
 - No part of any building except overhead wires, materials, excavations, or signs shall occupy the remaining lot area.

- Side Lot Setbacks**
There are no required side lot setbacks provided a side lot is shared with a property located in a single-family residential zoning district. On a lot with a side lot, the side lot shall be located within a single-family residential zoning district. The principal building shall be setback at least ten (10) feet from the shared side lot.

- Street Frontage**
- On each lot the building facade that is built to the RBL for at least eighty five percent (85%) of the lot length.
 - The building facade shall be built to the RBL within thirty (30) feet of a corner space.
 - Three portions of the building facade that required minimum could (a) may include gaps of not more than eight (8) inches in depth except as otherwise provided to allow an

- twenty-foot (24) feet;
- Designated areas shall be the sole means of vehicular access to a lot.
- Garage entries may be setback up to a maximum of twenty-foot (24) inches behind the surrounding facade.
- Vehicle parking areas on private property shall be located behind the parking setback line, except where parking is provided below grade.
- These requirements are not applicable to on-street parking.

Allow
There is no required setback from area equipment. On lots having no other access, there shall be a minimum setback of twenty-foot (25) feet from the street lot line.

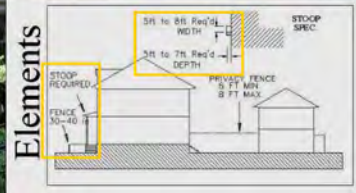
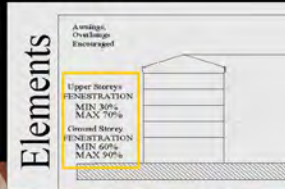
Corner Lots
Corner lots shall satisfy the code requirements for all lots, frontages - unless other was specified in this code. There are no special provisions for side yards or secondary street frontages. Street frontage shall be completed to include all lots.

Unbuilt lot, and common lot line treatment
A street wall shall be required along any lot frontage that is not otherwise occupied by a building on the lot. The street wall shall be located not more than eight (8) inches behind the RBL.

Power poles may be constructed along that portion of a common lot line not otherwise occupied by a building.

Basics: Facade Elements

The Basics: Elements (Fenestration, Balconies, etc.)



1. Fenestration shall not project more than twenty (20) linear feet and shall not exceed the height of the building.
 2. The building facade shall be built to the maximum height (100) feet of a building.
 3. Three portions of the building facade (the required minimum) built to the maximum height shall not exceed the height (18) inches in depth subject to otherwise provided to allow for fenestration.
- ROOF TOPS OF BOOTH OR GARAGE ENTRY ON THE SAME BLOCK, UNLESS OTHERWISE DESIGNATED ON THE RESOLUTION PLAN.
2. Glass doors shall not have a clear height of greater than sixteen (16) feet nor a clear width exceeding
- A STREET WALL SHALL BE REQUIRED ALONG ANY BLD. FRONTAGE THAT IS NOT OTHERWISE OCCUPIED BY A BUILDING ON THE LOT. THE STREET WALL SHALL BE LOCATED NOT MORE THAN EIGHT (8) FEET BEHIND THE BLD.
- FENESTRATION** MAY BE CONSTRUCTED ALONG THAT PORTION OF A BUILDING FRONTAGE NOT OTHERWISE OCCUPIED BY A BUILDING.

ELEMENTS

UPPER FACADE PROJECTIONS
MIN 20%
MAX 50%

FACADE FENESTRATION

1. Fenestration on the upper story facades shall comprise at least fifty percent (50%) but not more than seventy percent (70%) of the facade area per story (measured as a percentage of the facade between floor levels).

Building Projections

1. Awnings, balconies, and stoops shall not project closer than two (2) feet to a common lot line.
2. No part of any building, except overhanging eaves, awnings, balconies, awnings, stoops, and stoop fronts as otherwise permitted by the Code, shall encroach the street beyond the BLD.
3. Balconies shall not project more than thirty (30) inches beyond the BLD, maintain an unobstructed clear width of at least four (4) feet, and be constructed such that the walls and windows are taken ninety (90) degrees (i.e., perpendicular) and zero (0) degrees (i.e., parallel) to the primary wall from which they project.
4. Awnings that project over the sidewalk portion of a street shall maintain a clear height of at least ten (10) feet.

Doors/Entries

Functioning entry doors shall be provided along facade front facades at intervals not greater than seventy-five (75) linear feet.

COVERED SIDEWALKS

Covered sidewalks are encouraged, but not required where provided. Concrete sidewalks shall:

1. Have a minimum inside clear height of three (3) feet except as otherwise provided for night street lighting and similar accommodations.
2. Have a minimum of ten (10) feet clear width between the facade and the support posts or columns of the sidewalk cover structure.
3. Have posts or columns spaced fifteen (15) feet on centers.
4. Provide for a continuous public access easement (if needed) at least four (4) feet wide running adjacent and parallel to the sidewalk cover columns/posts.
5. Have columns/posts with no single horizontal dimension greater than twenty-two (22) inches in any two (2) directions.
6. Have awnings/posts located at least twenty-four (24) inches behind the back of curb.

Street Walls

A vertical entry gate no wider than eight (8) feet or a pedestrian entry gate no wider than six (6) feet shall be provided in their any required street wall.

USE

Ground Story

The ground story shall house commercial or residential uses. See Height Specifications below for specific requirements unique to each use.

Upper Stories

Other uses are not permitted on the upper stories, except those that are second story extensions of the ground story use having direct access thereto.

FARMERS BRANCH STATION AREA

NOVEMBER 2014

PREPARED BY: FERRELL MADDEN ASSOCIATES LLC

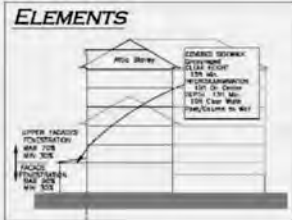
Basics: Building Use



1. Two to eight feet, seven percent (5%) of the wall height.
2. The building facade shall be built to the sill within thirty (30) feet of a block corner.
3. These portions of the building facade (the required minimum build up) may include jobs of not more than eight feet (8) inches in depth except as otherwise provided to allow for

1. Block corner or another similar entry on the same block, unless otherwise designated on the regulatory plan.
2. Covered entries shall not have a clear height of greater than sixteen (16) feet nor a clear width exceeding

A street wall shall be required along any alley thorough that is not otherwise occupied by a building on the lot. The street wall shall be located not more than eight (8) inches behind the wall.
Primary Fences may be constructed along that portion of a corner lot not otherwise occupied by a building.



- FINISHES**
1. Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all walls.
 2. Finishes on the upper storey facades shall comprise at least fifty percent (50%) but not more than ninety percent (90%) of the facade area (situated between two (2) and ten (10) feet above the adjacent public sidewalk on which the

- facade fronts.
3. Finishes on the upper storey facades shall comprise at least thirty percent (30%) but no more than seventy percent (70%) of the facade area per storey (measured as a percentage of the height between floor finishes).

- Building Projections**
1. Awnings, balconies, and stoops shall not project closer than five (5) feet to a common lot line.
 2. No part of any building, except overhanging eaves, awnings, balconies, porches, stoops, and shop fronts as otherwise permitted by the Code, shall encroach the street beyond the wall.
 3. For windows shall not project more than thirty-six (36) inches beyond the wall, maintain an interior clear width of at least four (4) feet and be constructed such that the walls and windows are between ninety (90) degrees (i.e., perpendicular) and two (2) degrees (i.e., parallel) to the primary wall from which they project.
 4. Awnings that project over the sidewalk portion of a street shall maintain a clear height of at least ten (10) feet.

Doors/Entries
 Functioning entry door(s) shall be provided along sidewalk front facades at intervals not greater than seventy-five (75) linear feet.



Ground Storey
 The ground storey shall house commercial or residential uses. See Height specifications above for specific requirements unique to each use.

Upper Storeys
 Retail, truck uses are not permitted on the upper storeys except those that are second story businesses of the neighborhood, as having direct retail frontage.

Covered Sidewalks
 Covered sidewalks are encouraged, but not required. Where provided, covered sidewalks shall:

1. Have a minimum interior clear height of thirteen (13) feet except as otherwise provided for signs, street lighting and similar appurtenances.
2. Have a minimum of ten (10) feet clear width between the facade and the support posts or columns of the sidewalk, cover structure.
3. Have posts or columns spaced fifteen (15) feet on centers.
4. Provide for a continuous public access easement (if needed) at least four (4) feet wide running adjacent and parallel to the sidewalk, over columns/posts.
5. Have columns/posts with no single horizontal dimension greater than twenty-two (22) inches or less than six (6) inches.
6. Have columns/posts located at least twenty-four (24) inches behind the back of curb.

Street Walls
 A vehicle entry side no wider than eighteen (18) feet or a pedestrian entry gate no wider than six (6) feet shall be permitted within any required street wall.

Real World - Form Based Code

- Example is from the City of Benecia, CA
- Downtown Mixed-Use Plan adopted 2007

A REPORT TO THE CITY OF BENECIA
Downtown Mixed Use Master Plan
Public Review Draft: December 22, 2006

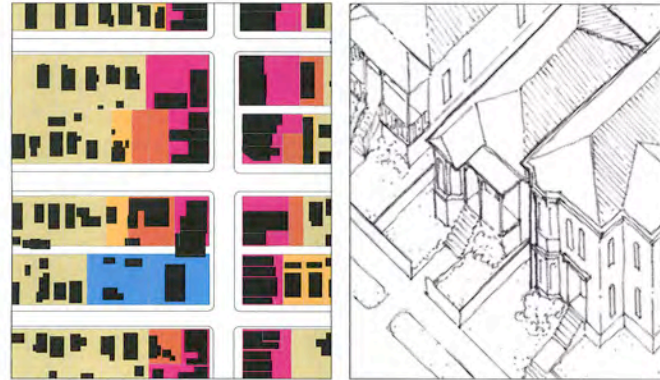


Prepared By:



How it can be applied

- Their Form-Based Code was adopted in the existing Zoning Ordinance.
- It superseded and replaced current code provisions relating to Zoning Districts, Allowable Land Uses, Permit Requirements and Site Development Standards.



Introduction

This chapter provides regulatory standards governing land use and building form within the Downtown Mixed Use Master Plan project area. The Form-Based Code is a reflection of the community vision for Benicia's downtown area and implements the intent of the 1999 Benicia General Plan that "design standards be developed to ensure that mixed-use development is compatible with and contributes to the character of the street, the Downtown, and adjoining neighborhoods."

The Form-Based Code is organized as follows:

The Regulating Plan (page 4-3) allocates plan zones and their corresponding land uses. Building Form Standards (pages 4-5 through 4-32) provide regulations for buildable areas, required frontage conditions, and acceptable land uses for each zone of the Regulating Plan. Additional Standards (page 4-33) provide regulations for frontage types and parking requirements.

The Form-Based Code is intended for adoption in the Zoning Ordinance for the City of Benicia. Upon adoption it will supersede and replace the City Zoning Ordinance provisions regarding zoning districts, allowable land uses, permit requirements, and site development standards.

The Downtown Mixed Use Master Plan project area includes a large part, but not all, of the Downtown Historic District as it was defined through the 1990 Historic Conservation Plan. The Historic Conservation Plan will continue to provide additional design guidelines for proposals within the Historic District.

The Regulating Plan

- This Plan identifies what blocks are affected by the Code.
- It also identifies the specific regulating zones governing any development.
- Existing building footprints show current building placements.



Building Standards

- These standards establish a vibrant, pedestrian-oriented character along a street.
- The Fairview Community Plan envisions this type of street character for the restored Gambell Street corridor.

Town Core (TC) Standards



Town Core (TC):

The primary intent of this zone is to enhance the vibrant, pedestrian-oriented character of First Street. The physical form and uses are regulated to reflect the urban character of the historic shopfront buildings.

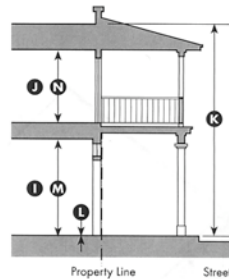
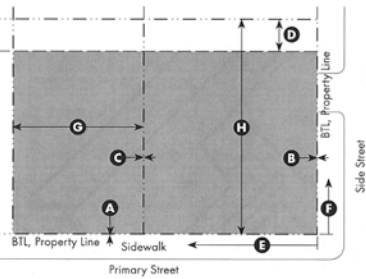
How mixed use is defined within this zone: Mixed use within this zone primarily refers to vertical mixed use where retail or commercial are on the ground floor and residential or commercial are above.

How "primary street" is defined within this zone: The primary street is always First Street.

Illustrative examples of buildings in a Town Core area

Height - Site - Frontage

Town Core (TC) Standards



Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- Building Area

Building Placement

Build-to Line (Distance from Property Line)

Front	0'	A
Side Street	0'	B

Setback (Distance from Property Line)

Side	0'	C
Rear		
Adjacent to NC Zone	8'	D
Adjacent to any other Zone	5'	D

Building Form

Primary Street Façade built to BTL	80% min.*	E
Side Street Façade built to BTL	30% min.*	F
Lot Width	125' max.	G
Lot Depth	100' max.	H

*Street façades must be built to BTL along first 30' from every corner.

Notes

- All floors must have a primary ground-floor entrance that faces the primary or side street.
- Loading docks, overhead doors, and other service entries are prohibited on street-facing façades.
- Any building over 50' wide must be broken down to read as a series of buildings no wider than 50' each.

Use

Ground Floor	Service, Retail, or Recreation, Education & Public Assembly*	I
Upper Floor(s)	Residential or Service*	J

*See Table 4.1 for specific uses.

Height

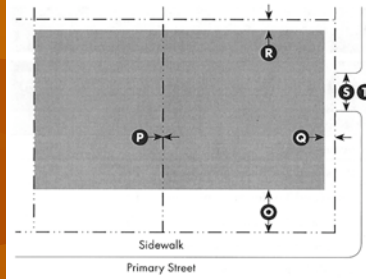
Building Min.	22' *	K
Building Max.	2.5 stories and 35' *	K
Ancillary Building Max.	2 stories and 25' *	L
Finish Ground Floor Level	6" max. above sidewalk	M
First Floor Ceiling Height	12' min. clear	N
Upper Floor(s) Ceiling Height	8' min. clear.	N

*All heights measured to eaves or base of parapet.

Notes

- Mansard roof forms are not allowed.
- Any section along the BTL not defined by a building must be defined by a 2'6" to 4'6" high fence or stucco or masonry wall.

Town Core (TC) Standards



Key

- Property Line
- Parking Area

Parking

Location (Distance from Property Line)

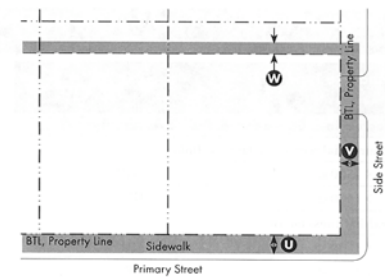
Front Setback	30'	O
Side Setback	0'	P
Side Street Setback	5'	Q
Rear Setback	5'	R

Required Spaces

Ground Floor	
Uses <3,000 sf	No off-street parking required
Uses >3,000 sf	1 space/500 sf
Upper Floors	
Residential uses	1 space/unit; .5 space/studio
Other uses	1 space/1,000 sf

Notes

- Parking Drive Width 15' max. **S**
- On corner lots, parking drive shall not be located on primary street. **T**
- Parking may be provided off-site within 1,300' or as shared parking.
- Bicycle parking must be provided and in a secure environment.
- Parking drives are highly discouraged along First Street and only permitted if there is no other option for access to parking areas.



Key

- Property Line
- Setback Line
- Build-to Line (BTL)
- Encroachment Area

Encroachments

Location

Front	12' max.	U
Side Street	8' max.	V
Rear	4' max.	W

Notes

- Canopies, Awnings, and Balconies may encroach over the BTL on the street sides, as shown in the shaded areas. Balconies may encroach into the setback on the rear, as shown in the shaded areas.
- Upper-story galleries facing the street must not be used to meet primary circulation requirements.

Allowed Frontage Types (see page 4-30)

Gallery	
Clearance	1' min. back from curb line
Height	9' min. clear, 2 stories max.
Awning	
Depth	10' max.
Forecourt	
Depth	15' min., not to exceed width
Width	20' min., 50% of lot width max.

Land Use

Town Core (TC) Standards

Table 4.1: Town Core (TC) Zone Allowed Land Uses and Permit Requirements

Land Use Type	Permit Required	Specific Use Regulations	Land Use Type ¹	Permit Required	Specific Use Regulations
Recreation, Education & Public Assembly			Residential		
Commercial recreation facility: Indoor			Home occupation		
< 1500 sf	MUP		< 300 sf and 2 or fewer employees	P ²	
> 1500 sf	UP		> 300 sf and 3 or fewer employees	P ³	
Health/fitness facility			> 300 sf and 3 or more employees	NA	
< 1500 sf	MUP		Mixed use project residential component	P ²	
> 1500 sf	UP		Dwelling: Multi-Family-Rowhouse	P ²	
Library, museum	P		Dwelling: Multi-Family-Duplex	P ²	
Meeting facility, public or private	MUP		Dwelling: Multi-Family-Triplex	P ²	
Park, playground	MUP		Dwelling: Multi-Family-Fourplex	P ²	
School, public or private	MUP		Ancillary Building	P	
Studio: art, dance, martial arts, music, etc.			Residential Care, 7 or more clients	P ²	
< 1500 sf	P		Residential Care, 6 or fewer clients	P ²	
Theater, cinema, or performing arts			Retail		
< 5000 sf	P		Artisan Shop	P	
> 5000 sf	UP		Bar, tavern, night club, except with any of the following features	P	
			Operating between 9 pm and 7 am	UP	
			General retail, except with any of the following features:	P	
			Alcoholic beverage sales	UP	
			Floor area over 8000 sf	MUP	
			On-site production of items sold	MUP	
			Operating between 9 pm and 7 am	MUP	
			Neighborhood market < 10,000 sf	P	
			Restaurant, café, coffee shop	P	

Key	
P	Permitted Use
MUP	Minor Use Permit Required - staff review only
UP	Use Permit Required
NA	Not an allowed use

End Notes

¹A definition of each listed use type is in the Glossary.

²Allowed only on upper floors or behind ground floor use.

Land Use Type¹

Permit Required Specific Use Regulations

Services: Business, Financial, Professional

ATM or bank	P
Business support service	P ²
Medical services: Doctor Office	P ²
Medical services: Extended Care	P ²
Office: Business, service	P ²
Office: Professional, administrative	P ²

Services: General

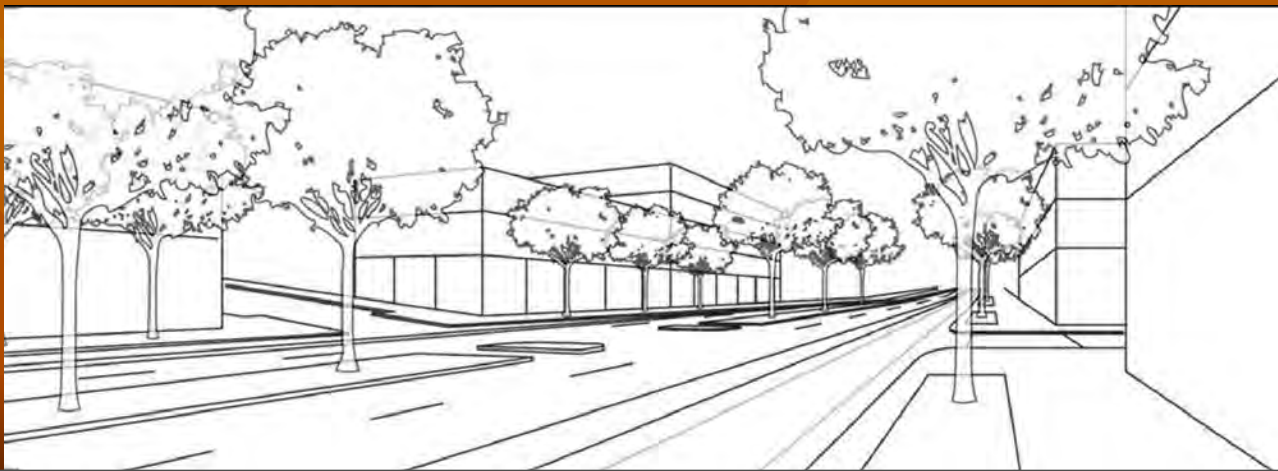
Financial Services	P ²
Bed & breakfast	
4 guest rooms or less	P ²
Greater than 4 guest rooms	P ²
Day care center: Child or adult	P ²
Day care center: Large family	P ²
Day care center: Small family	P ²
Lodging	MUP
Personal services	P

Transportation, Communications, Infrastructure

Parking facility, public or commercial	UP
Wireless telecommunications facility	MUP

Transformation can happen.





Could this be the Gambell/Ingra Corridor in the future?



The background features a warm orange-to-gold gradient. Overlaid on this are several large, stylized leaf patterns in a darker shade of orange. The leaves have prominent veins and are arranged in a scattered, overlapping manner across the frame.

Questions?